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Thursday, 9 September 2022

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Ref: 2021\_247 Koko Ridge 49&53 Maxs Way additional VIA Memo\_C

**KOKO RIDGE STAGE 2 VISUAL ASSESSMENT MEMO**

49 & 53 MAXS WAY

Dear Tim

The following letter is a Visual Assessment memo in relation to further request for visual assessment of the proposed Koko Ridge Stage 2 development (the site) and potential visual effects on occupiers of the southern boundary at 49 and 53 Maxs Way, located below the site. I am familiar with the site and surrounds having previously visited the site and undertook the landscape and visual assessment for Stage 2 Koko Ridge. I have read the original landscape and visual assessment for Laurel Hills SHA (December 2018), undertaken by DCM Urban Ltd which assessed the same property.

This memo is supported an appendix of figures, which includes the proposal plan and cross sections to illustrate visibility. (Refer to *2021\_274 Laurel Hills Koko Ridge Stage 2- 49-53 Maxs Way Visual Assessment Figures*)

**SCOPE OF ASSESSMENT**

While the purpose of the 75m Building Restriction Area (BRA) is to manage visual effects from SH6, it has been posited that views over this BRA from other viewpoints would expect to not see built form.

If the BRA did not exist, as a result of appeals to the Proposed District Plan or is reduced by Plan Change, the visual effects found in this report will have no application as the underlying zoning is Large Lot residential A for all properties, and as such residential building could be expected. On this basis Lot 27 is excluded from this assessment, even though the future dwelling is as likely to be visible as those on lots 28 – 30.

Therefore, this visual assessment relates only to Lots 28-30 of Koko Ridge Stage 2, where the building platforms are entirely within the BRA. Furthermore, this assessment is not applicable if the BRA is altered.

## THE PROPOSAL

The proposal includes the following:

- Development of Lots 28-30, with building platforms varying in area from 689m<sup>2</sup> to 1153m<sup>2</sup>
- Proposed building platforms are offset 4m from the southern lot boundary adjacent to the existing terrace edge.
- Proposed dwellings are height restricted to 5.5m above the finished ground level
- The maximum site coverage allowed for buildings is 15% which equates to a little over 300m<sup>2</sup> per lot.

## RECEIVING ENVIRONMENT

For the purposes of this visual assessment memo, I have adopted the description of the existing character as outlined in the Koko Ridge Stage 2 Landscape and Visual Impact Assessment.<sup>1</sup> The composition of the landscape within the site and its surrounding nearby environs is generally made of up natural and modified landform such as former river terraces - mostly used for residential use. Ladies Mile is undergoing extensive change from a rural area to a suburban settlement. Topographical features in the wider and distant context remain dominant natural features.

## ASSESSMENT OF VISUAL EFFECTS

Visual amenity is a measure of the visual quality of a landscape as experienced by people living in, working in or travelling through it. Visual amenity is invariably associated with the pleasantness, memorability and aesthetic coherence of an area or a view. The degree of visual effect relates to the visibility of the proposal, both within and beyond the application site. Generally speaking, the closer people are to a development, the greater visual effects there will be and, in this case, due to the static nature of residences, the landscape can be examined in finer detail and visual effects are therefore likely to be more apparent.

### 49 MAXS WAY

Visibility of lots 28-30 from 49 Maxs Way is considered to have **no visual effects** due to the existing hedge height along the boundary between 49 and 53 Maxs Way which fully screens views of the Stage 2 development (VP1 on the attached Figures (cover page)).

### 53 MAXS WAY

For occupiers of 53 Maxs Way the existing view is of a large open grassed paddock in front of a steep, grass terrace. On the top of the terrace edge is a 1m high wire fence with low transparency shade cloth attached to it. The Stage 2 site boundary is setback from the terrace edge and the land cannot be seen. The upper slopes of Slope Hill are generally not visible in the background due to the view angle from these dwellings below, however there are some mature poplars on Spence Road that are visible. The unmitigated Stage 2 future dwellings may break the skyline when viewed from all locations assessed within 53 Maxs Way, though the extent of visibility will be dependent on the individual dwelling design, where they are sited within the building platform areas

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<sup>1</sup> DCM Urban, 2021\_274 Koko Ridge Stage 2\_LVIA\_C, RFI amendment, 4 May 2022

and the proposed mitigation. The Large Lot Residential zone is effectively a very low density which aids in reducing a 'bulk' effect of the dwellings. This will result in a clear and noticeable separation between future dwellings and where visible, roof tops will not visually combine to create a visual dominant mass or continuous appearance of roof tops.

With regards to the proposed 4m setback of the building platforms from the southern lot boundaries, representative cross sections have been prepared (refer to attached Figures). I considered the difference in visibility of the future dwellings if the setback was increased to be more than 4m and conclude this will not make a noticeable difference on dwelling visibility in all considered cases. any additional setback will not be easily apparent due to the distance and view angle the lots are viewed from by the neighbouring dwellings below. The differing topology of future dwellings will further add to this undisguisable visible height difference due to the likely variance in scale, roof pitch, materiality and individual desired internal setback within the building platforms. The proposed 4m setback is considered to be adequate, with little difference or reduction of visual effects to be gained by requiring a greater setback. I support the retention of the proposed setback at 4m from lot boundaries.

Similarly, I considered the new hedge planting that was proposed along the lot boundaries. This was expected to be approximately 2m high with the objective to screen and soften views of proposed dwellings, with only the roof tops likely to be visible. As the cross-sections demonstrate this hedging, which is setback from the terrace edge, is largely ineffective in screening and softening views of buildings and is itself largely screened by the shade cloth covered wire fence on the terrace edge. I do not support the planting of this hedge as effective mitigation and consider it should be replaced by strategic planting of specimen trees on the lot boundaries.

As noted above the height of proposed dwellings is limited to 5.5m above the original ground level. Further visual softening is recommended through strategic planting of specimen trees on the lot boundaries will further break up and soften visibility and give comparable height to future dwellings. Refer to mitigation measures below.

In summary, I consider:

- the placement of future dwellings and accessory buildings at least 4m back from the lot boundary;
- compliance with the standard recessive colours and low Light Reflective Values of Queenstown Lakes District Council (QDLC) for built form, including natural materials, (as per volunteered consent notice conditions);
- the proposed 5.5m dwelling height limit; and
- strategic planting of specimen evergreen trees,

will largely mitigate almost all visual effects with only a thin line of recessively coloured roof tops potentially remaining visible (if the building height is maximised). I assess the

likely visual effects for occupiers of 49 Maxs way as **Nil** and 53 Maxs Way to be **Low (Less than Minor)**<sup>2</sup>.

LESS THAN MINOR		MINOR		MORE THAN MINOR			SIGNIFICANT
VERY LOW	LOW	LOW-MOD	MODERATE	MOD-HIGH	HIGH	VERY HIGH	

Table 1. Te Tangi a te Manu Aotearoa New Zealand Landscape Assessment Guidelines (August 2022), page 151 "Effects Table"

With regard to the temporary adverse visual effect that could arise while the specimen trees reach sufficient height to provide additional mitigation. I consider the temporary adverse visual effect will still be **Low (Less than Minor)** because the visual effects of visible rooflines on occupiers of 53 Maxs Way will still be mitigated by recessive colouring and the separation distance to viewers of 53 Maxs Way. In addition, the roof lines will not be visible in some cross sections depending on the placement of the proposed dwelling, i.e. the temporary adverse effect may not always arise and depends on how the building envelope and building height is utilised.

### MITIGATION MEASURES

The following measures are proposed to avoid, remedy or mitigate any adverse visual effects on the neighbouring 53 Maxs Way.

**MM1** - Dwelling setback from terrace edge.

Future dwellings and accessory buildings on lots 28-30 to be setback a minimum of 4m from the south boundary of each lot to reduce view angle and visibility of the dwellings from neighbouring 53 Maxs Way.

**MM2** – Strategic Tree plantings

Along the southern boundaries of Lots 28-29, plant a specimen evergreen tree every 4.5m meters of the southern boundary where the building elevation (including roofline) is visible from 1.5m above viewpoint A, B, C & D as shown in the attached figures, to provide a degree of softening and comparative scale with dwellings. (Suggested species *Podocarpus laetus* – *Hall's Totara*) at a planted height of 2.5m.

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<sup>2</sup> Te Tangi a te Manu Aotearoa New Zealand Landscape Assessment Guidelines (August 2022), page 151 "Effects Table"

## CONCLUSIONS

I re-affirm the original DCM landscape and visual assessment of Laurel Hills SHA and confirm the proposed development of Koko Ridge Stage 2 that covers only the northwest quadrant as viewed from 49 Maxs Way is assessed as having **no visual effect** due to the existing hedge which fully screens views of the Stage 2 development.

For properties at 53 Maxs Way, the (unmitigated) future dwellings may break the skyline when viewed from all locations assessed within the 53 Maxs Way. The Large Lot Residential zone of Stage 2 provides for low density development that is single story with a 5.5m building height restriction imposed via consent notice. Compliance with the standard recessive colours and low Light Reflective Values of QLDC for built form, including materials (as per volunteered consent notice conditions) will aid in softening the appearance of the development, further enhanced by the mitigation measures outlined above. Additionally, I consider the proposed 4m setback to be adequate, with little difference or reduction of visual effects to be gained by requiring a greater setback. I support the retention of the proposed setback at 4m from lot boundaries. I do not support the 2m high hedge as this screening and softening is largely achieved by existing 1m fence with shade cloth on the terrace top edge. I do recommend planting *Podocarpus laetus* - Hall's totara at 4.5m meter spacings on the southern boundary wherever the building elevation (including roofline) is visible.

Following the implementation of the recommended mitigation, I consider that the future dwellings in Lots 28-30 following mitigation will have a **Low (less than minor)** effect on visual amenity for the adjoining property at 53 Maxs Way.

Yours sincerely



Chris Greenshields

**Principal Landscape Architect, NZILA Reg.**

DCM URBAN DESIGN LIMITED



**KOKO RIDGE STAGE 2- 49/53 MAXS WAY VISUAL ASSESSMENT FIGURES  
FOR KOKO RIDGE LIMITED**

9 September 2022  
PROJECT NO. 2021\_274  
REVISION B



## KOKO RIDGE SUBDIVISION STAGE 2

Project no: 2021\_274  
Document title: Koko Ridge Stage 2- 49/53 Maxs Way Visual Assessment Figures  
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### DOCUMENT HISTORY AND STATUS

REVISION	DATE	DESCRIPTION	BY	REVIEW	APPROVED
A	05/09/2022	DRAFT FOR REVIEW	NK	CG	DCM
B	09/09/2022	FINAL VIA FIGURES	NK	CG	DCM



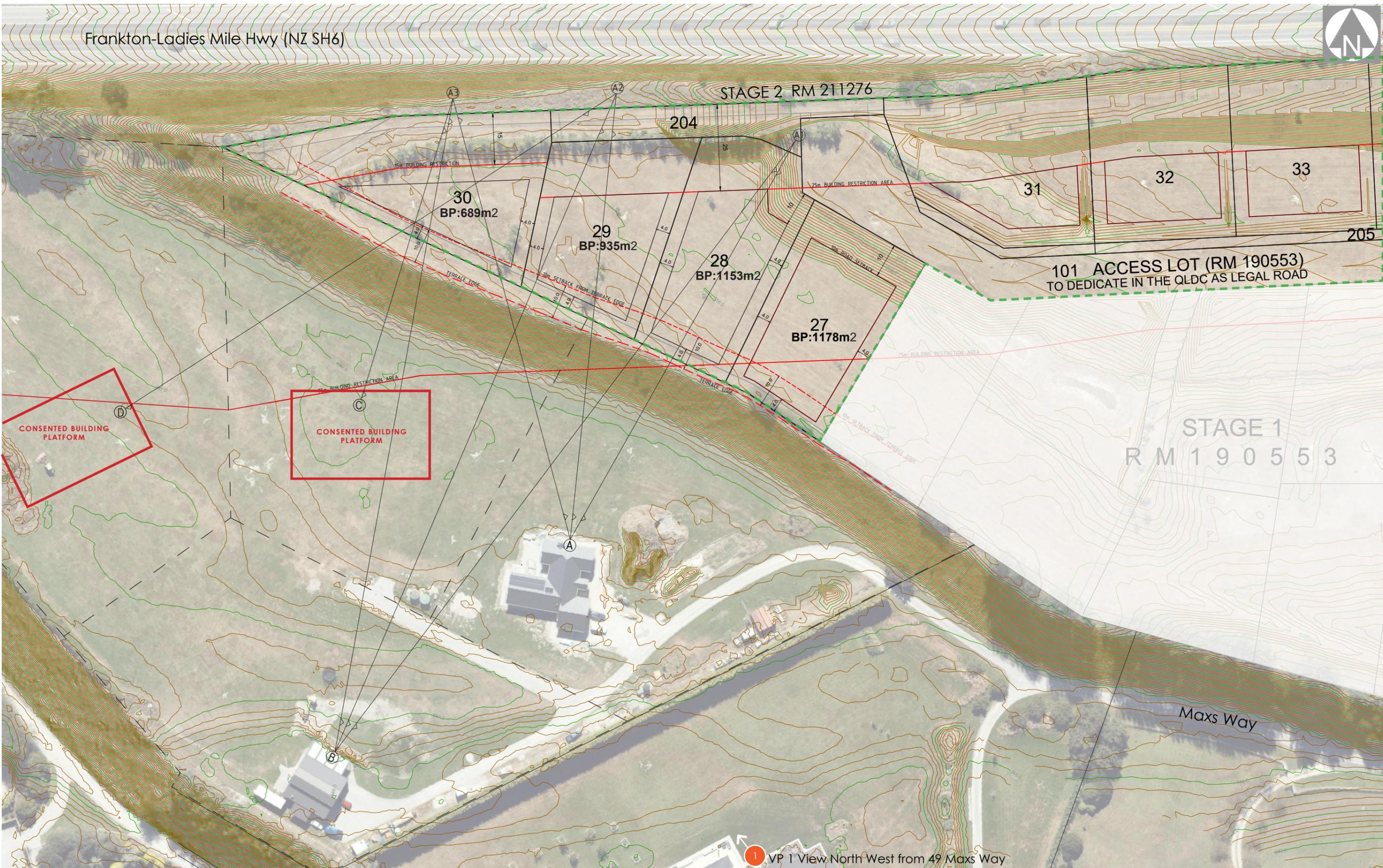
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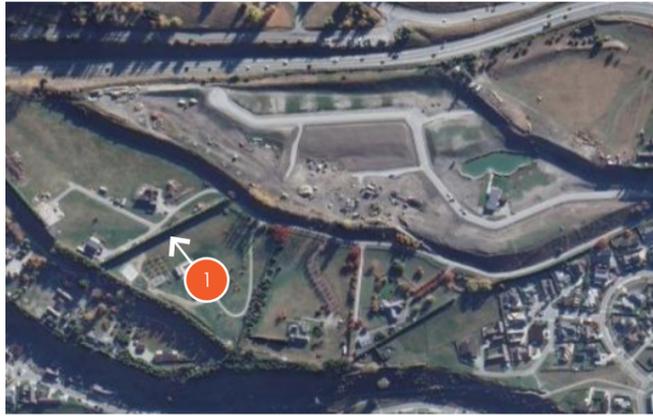
## CONTENTS

SITE LAYOUT- PLAN VIEW	3
VP1- VIEW NORTH WEST- 49 MAXS WAY	4
LOT 28 SECTION A-A1 & B-A1	5
LOT 29 SECTION A-A2 & B-A2	6
LOT 30 SECTION A-A3 & B-A3	7
LOT 30 SECTION C-A3 & D-A2	8



Map / image source: Clark Fortune McDonald & Associates (Adjusted from original)

**SITE LAYOUT- PLAN VIEW**  
KOKO RIDGE SUBDIVISION STAGE 2



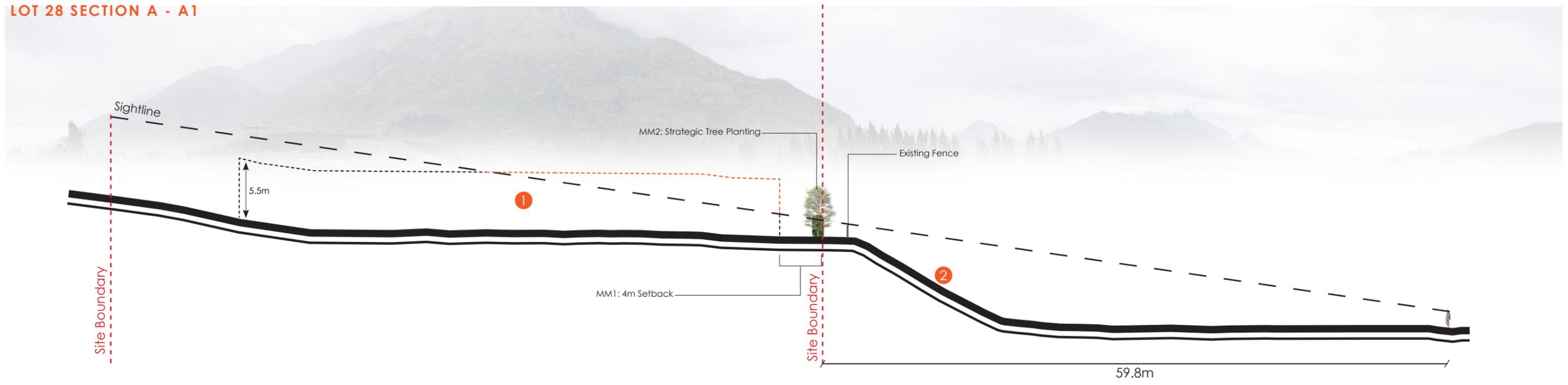
A. IMAGE LOCATION



B. EXISTING VIEW

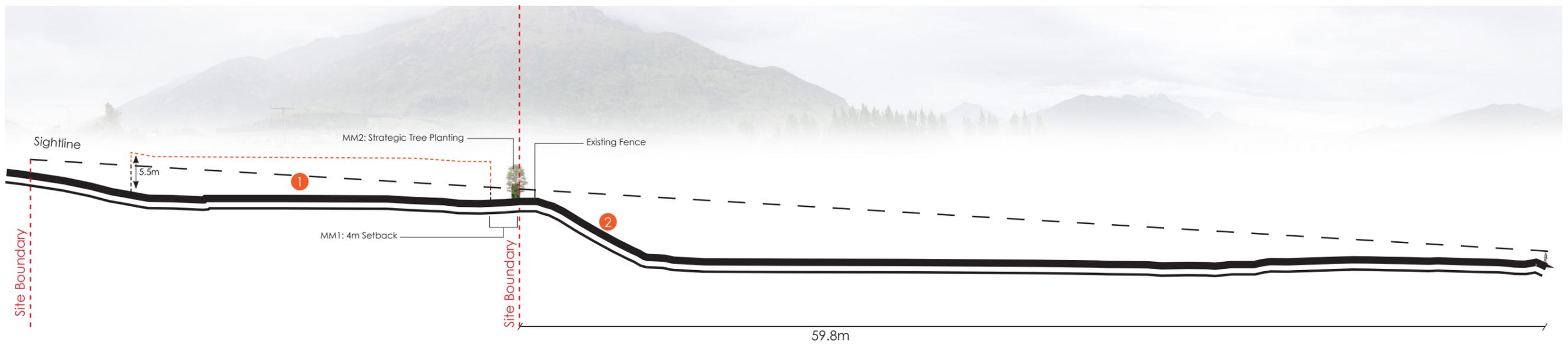
- ① Building Envelope (5.5m high from ground surface)
- ② Terrace with grass cover

LOT 28 SECTION A - A1



Scale: 1:400 @ A3

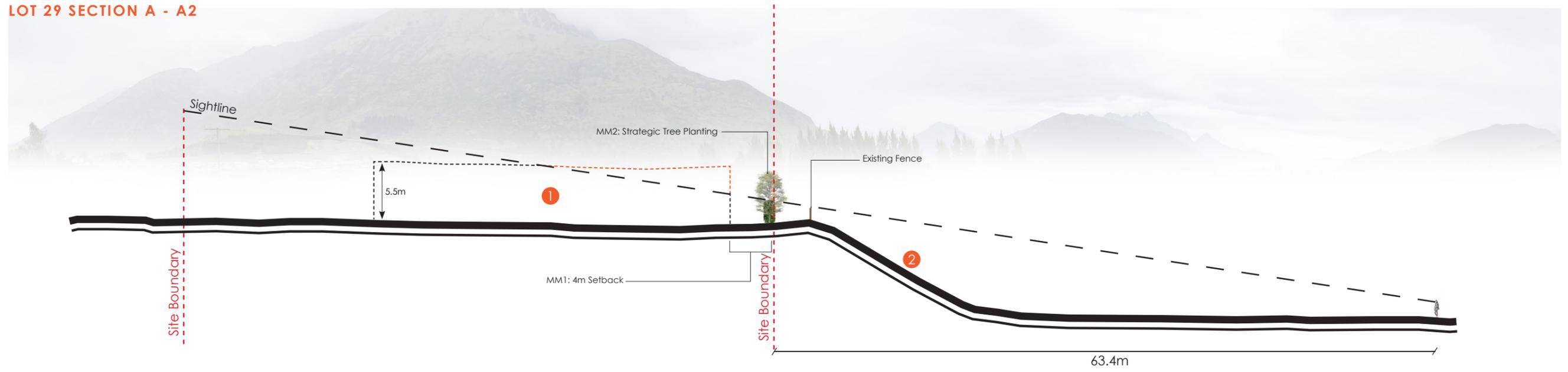
LOT 28 SECTION B - A1



Scale: 1:600 @ A3

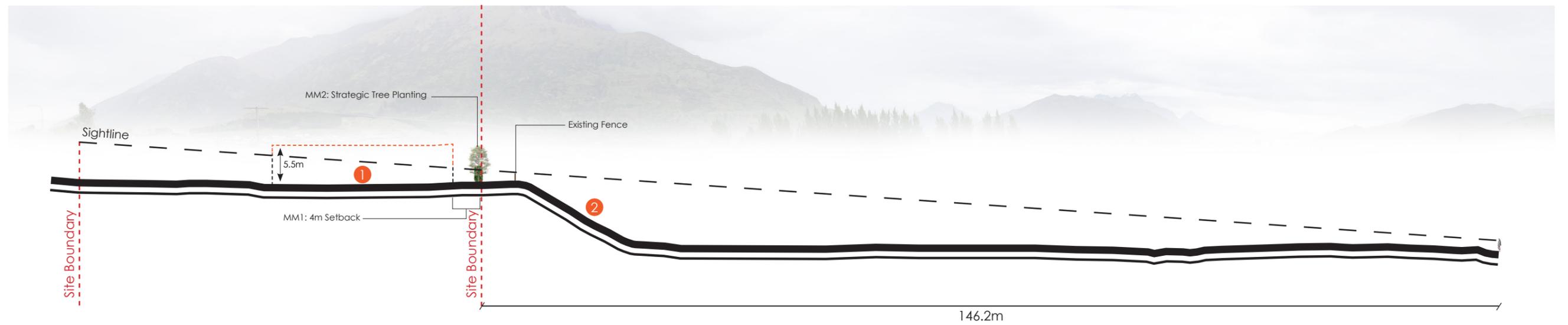
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- ② Terrace with grass cover

LOT 29 SECTION A - A2



Scale: 1:400 @ A3

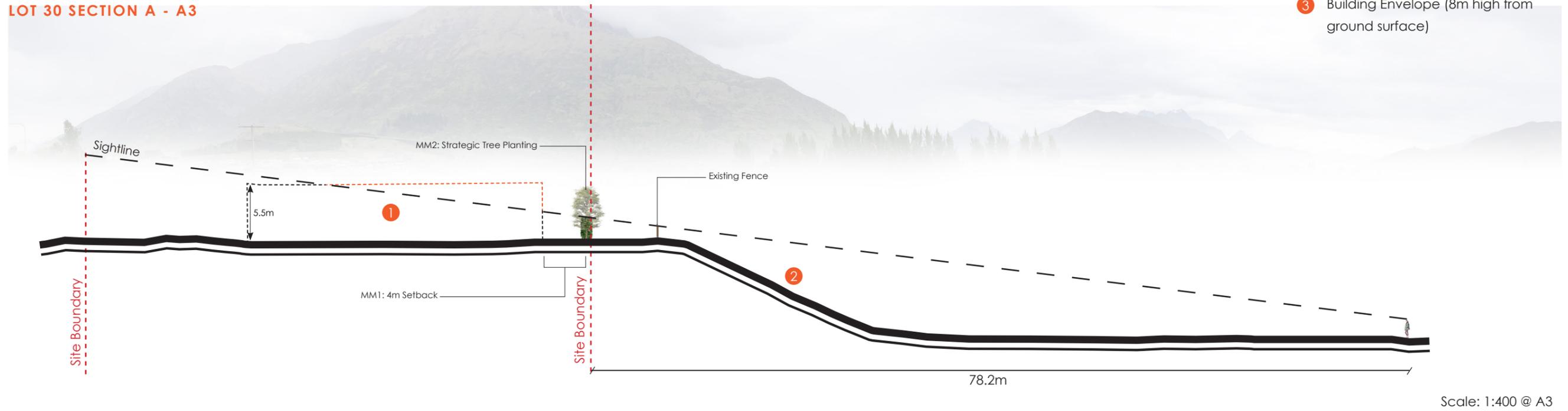
LOT 29 SECTION B - A2



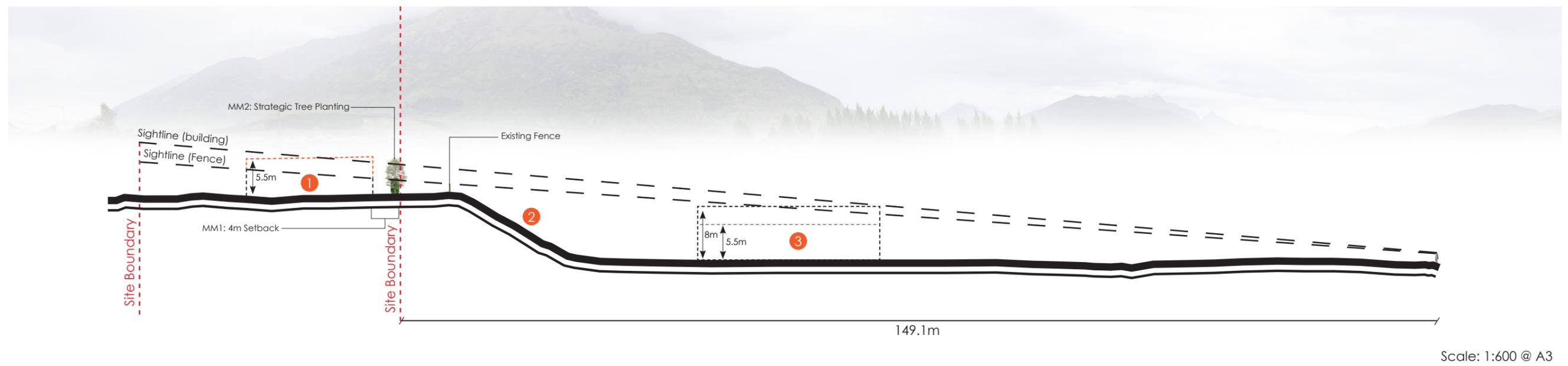
Scale: 1:600 @ A3

- ① Building Envelope (5.5m high from ground surface)
- ② Terrace with grass cover
- ③ Building Envelope (8m high from ground surface)

LOT 30 SECTION A - A3

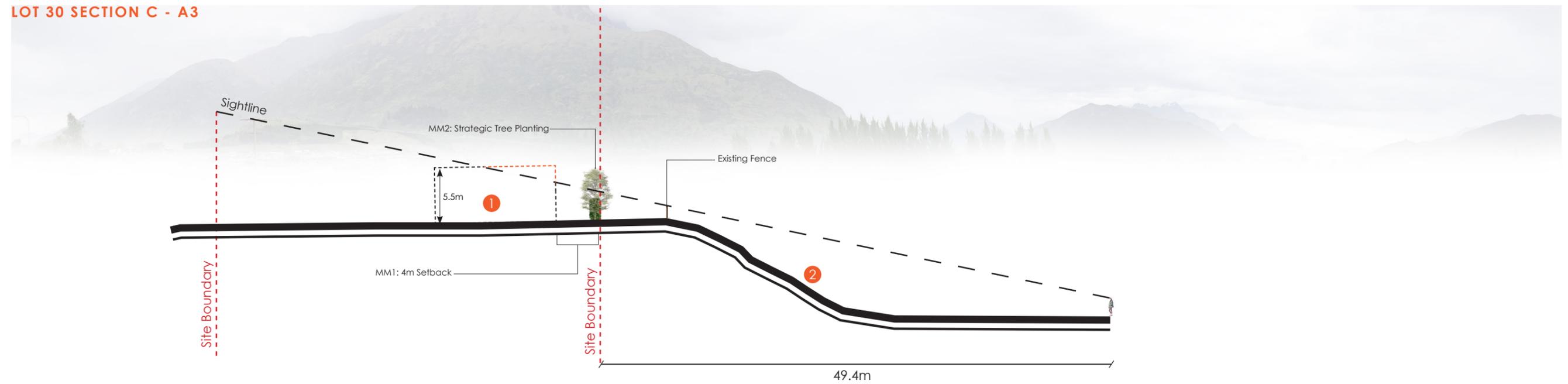


LOT 30 SECTION B - A3



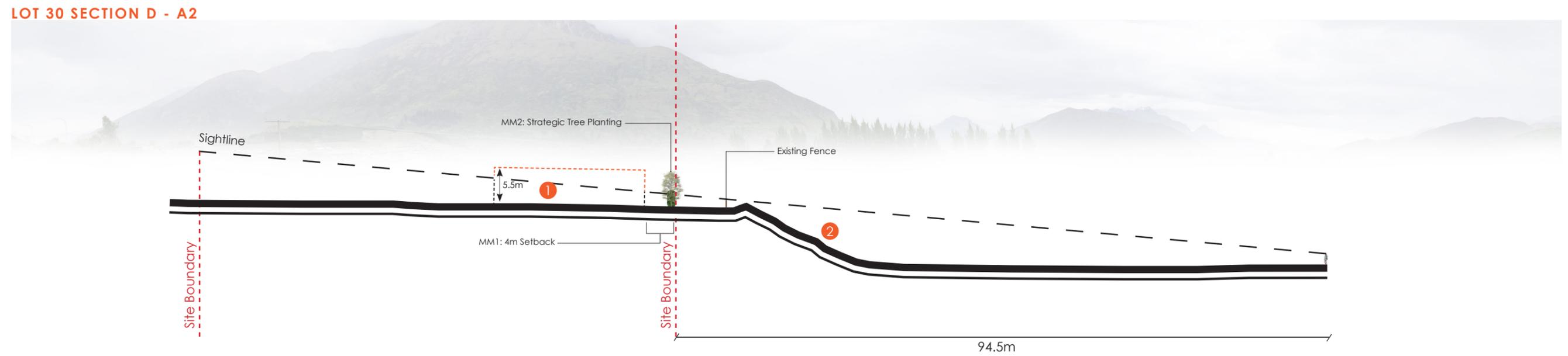
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- ② Terrace with grass cover

LOT 30 SECTION C - A3



Scale: 1:400 @ A3

LOT 30 SECTION D - A2



Scale: 1:600 @ A3